

ESTATE AGENTS



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PRICE: £259,950

REF: LG24107/JF

**42 HINTON ROAD
KINGSHOLM
GLOUCESTER
GL1 3JS**



**A SUBSTANTIAL EDWARDIAN SEMI DETACHED FAMILY HOUSE IN
A SMALL TREELINED CUL DE SAC JUST TO THE NORTH OF THE
CITY CENTRE**

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42 HINTON ROAD, KINGSHOLM, GLOUCESTER

Hinton Road is a small and very popular treelined cul de sac situated off Lansdown and Denmark Road approximately ½ mile to the North of Gloucester City centre. Some of the areas most sought after schools are close by, good local shopping and the City centre are within easy reach and access to Cheltenham and the M5 are only a short drive.

Number 42 offers surprisingly good sized period accommodation with 3 bedrooms and a bathroom as well as 2 reception rooms, attic/workroom and a large kitchen/breakfast room

THREE BEDROOMS: ATTIC/PLAY/WORKROOM: SITTING ROOM: DINING ROOM: 20' KITCHEN/BREAKFAST ROOM ADJOINING THE GARDEN: GAS CENTRAL HEATING: DOUBLE GLAZING: ENCLOSED REAR GARDENS:

Upvc double glazed front door to:-

ENTRANCE PORCH:

Tiled floor. Original half glazed door to:-

ENTRANCE HALL:

High quality laminate flooring. Staircase to landing. Decorative arch. Radiator.

SITTING ROOM: 15'4 x 11'3.

Double radiator. Bay window to the front. T.V point. Timber and tiled open fire. Coved ceiling.



DINING ROOM: 9' x 10'.

Wood stripped floor. Worcester gas fired central heating boiler. Double Upvc double glazed French doors to rear garden.



KITCHEN: 22'1 x 10'6.

Beautifully fitted with inset double bowl Belfast sink with mixer taps set into deep oak worktops with cupboards and drawers below. Quarry tiled floor. Recess for large cooking range with gas point. Breakfast area with space for table and door to side. Stable door to rear garden.





CLOAKROOM:
Low level W.C. Wash hand basin. Vinyl floor.

FIRST FLOOR:

LANDING:

Access to fully boarded attic/loft room.

BEDROOM 1: 15'3 x 12'3.

Victorian cast iron fireplace. Wood stripped floor. Two windows to the front. T.V point.



BEDROOM 2: 13' x 9'7.

Radiator.



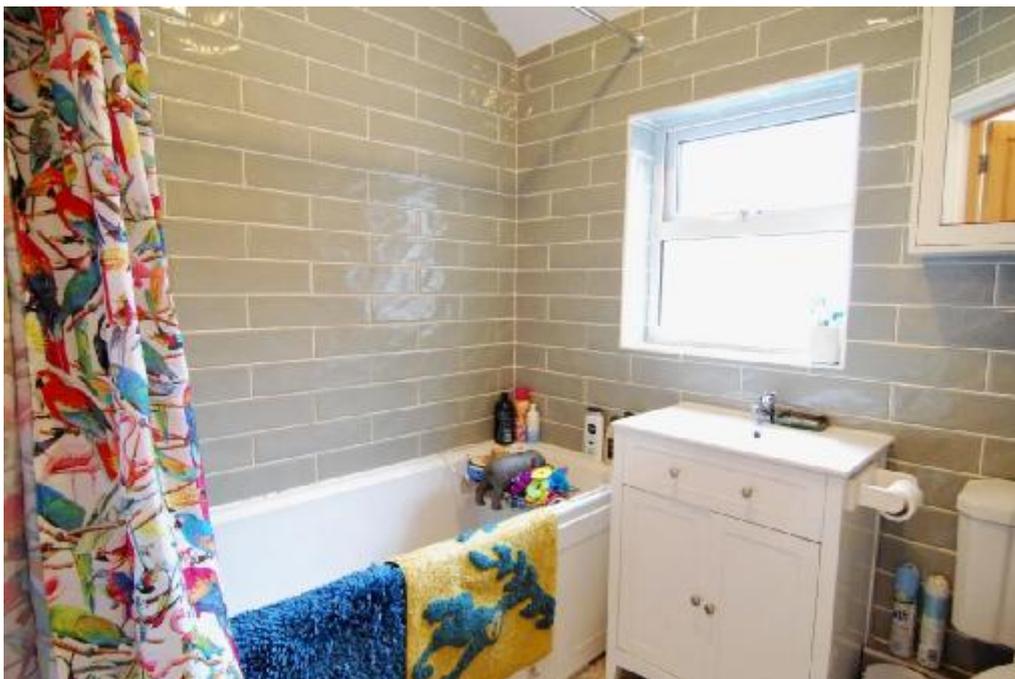
BEDROOM 3: 10' x 9'6.

Double radiator. View of the garden. Cupboard housing plumbing for washing machine and dryer.



BATHROOM:

White suite of panelled bath. Fully tiled splashback. Double headed stainless steel shower with curtain. Vanity unit with wash hand basin and cupboards below. Low level W.C. Fully tiled walls. Vertical heated towel rail/radiator.



ATTIC/OFFICE: 15'3 x 15'.

Velux window. Access to eaves storage. Timber retractable ladder. Power.

EXTERIOR:

Front gardens with path to front door. Gate to rear gardens and side access.

Rear gardens with area of terrace opening to lawns with mature trees, bushes and shrubs. Enclosed by fencing.

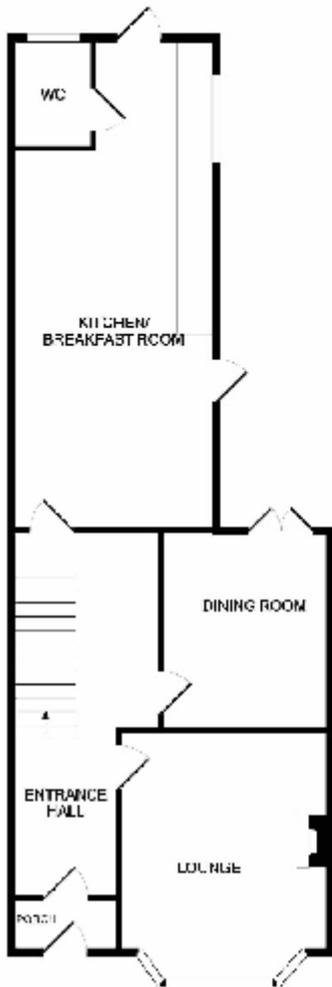


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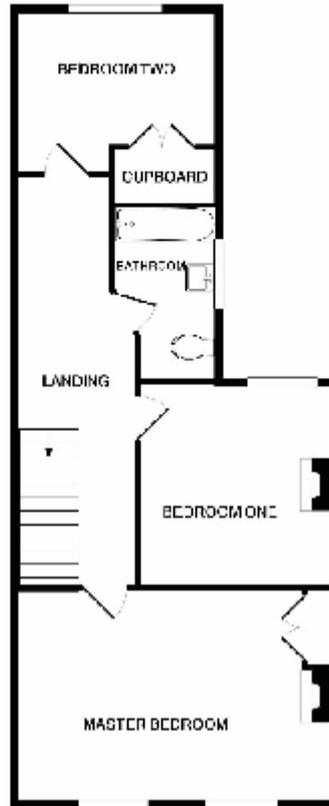
AGENTS NOTE:

All room sizes are approximate

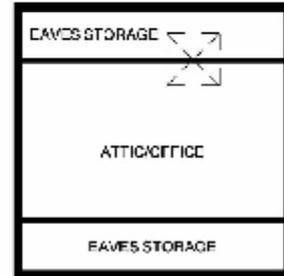
VIEWING STRICTLY BY APPOINTMENT THROUGH THE AGENT



GROUND FLOOR



1ST FLOOR



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